

# Recchia Residence

HUNTERROBERTS  
DESIGN+BUILD

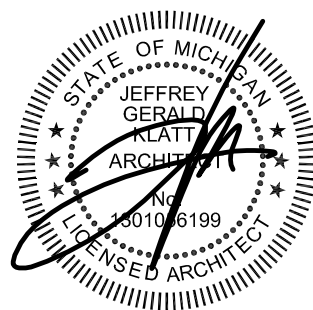
krieger klatt  
ARCHITECTS  
architecture interiors consulting  
1412 East Eleven Mile Road, Royal Oak, MI 48067  
Phone: 248.414.9270 Fax: 248.414.9275 Web: kriegerklatt.com

Client:  
Hunter Roberts Homes  
Suite 115  
36800 Woodward Ave.  
Bloomfield Hills, MI 48301

Project:  
New Construction  
602 Riverside Drive  
Birmingham, MI

Issued:  
01.18.17 Owner's Approval  
01.27.17 Owner's Approval  
02.01.17 Site Plan Approval

Seal:



Note:  
Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in field.

North Arrow:

Sheet Title:  
Title Sheet

Scale:  
None

Project Number:  
17-005

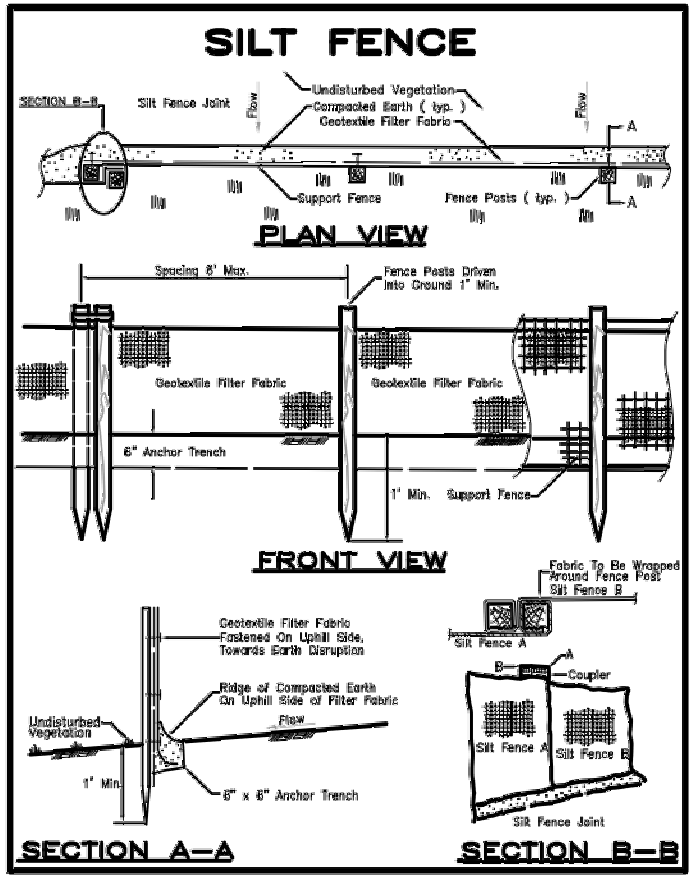
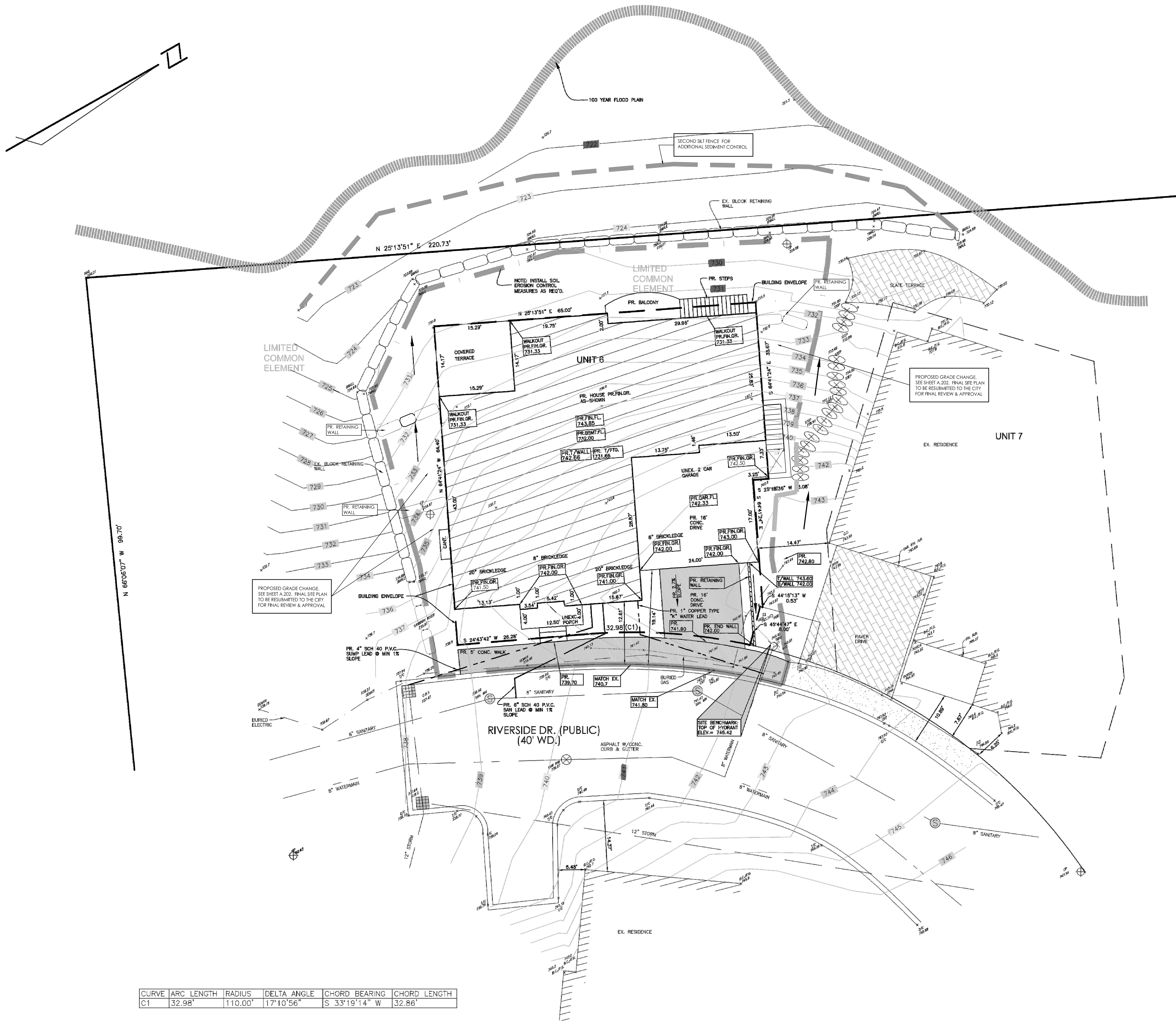
Sheet Number:

G.001



Exterior Rendering  
Scale: None





TYPICAL SILT FENCE DETAILS

SOIL EROSION NOTES:

- 1) INSTALL EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION.
- 2) ALL SOIL EROSION MEASURES MUST BE IN PLACE PRIOR TO ANY EARTH MOVEMENT.
- 3) COMPLETE ALL EARTH MOVEMENT.
- 4) RIGHT-OF-WAY MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.
- 5) ALL SWALE AREAS, ALL SLOPES GREATER THAN 1:5 AND 10' AROUND STORM STRUCTURES MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.
- 6) AFTER PERMANENT EARTH STABILIZATION IS COMPLETED, REMOVE EROSION CONTROL MEASURES.

LEGEND

- SECTION CORNER
- FOUND IRON, MON., NAIL
- SET IRON
- RECORDED
- MEASURED
- CALCULATED
- EXISTING DESCRIPTION
- UTILITY POLE
- EDGE OF WOODS
- BOTTOM OF BERM
- TOP OF BERM
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- CORRUGATED METAL PIPE INVERT
- TOP OF WALL
- BOTTOM OF WALL
- EDGE OF WATER
- BUILDING CORNER/FINISHED GRADE
- MARKER
- WATER SHUT OFF
- CENTERLINE
- SANITARY MANHOLE
- CATCH BASIN BEEHIVE
- WATER SHUT OFF VALVE

CONSTRUCTION SEQUENCE		FORMED TIME SCHEDULE - BEGINNING											
		FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN
A	SOIL EROSION CONTROL MEASURE												
B	HOUSE CONSTRUCTION												
C	DRIVEWAY & SIDEWALK CONSTRUCTION												
D	FINAL GRADING												
E	PERMANENT SOIL EROSION												

NOTE: THIS TIMING AND SEQUENCE CHART IS TO BE FILLED IN BY THE CLIENT PRIOR TO SUBMITAL TO THE CITY/TOWNSHIP.

- PR. 000.00 = PROPOSED GRADE
- 000.00 = EXISTING GRADE
- PR. 000.00 = PLAN PROPOSED GRADE NO LONGER APPLICABLE
- SILT FENCE
- C.B. FILTER
- DOWNSPOUT
- TREE
- TREE (REMOVE)

BUILDER: MOERI DEVELOPMENT  
3005 UNIVERSITY DR., SUITE 100  
AUBURN HILLS, MI 48326  
PHONE: (248) 340-9400

CITY BENCHMARK #27: BRASS DISC LOCATED ON THE NORTHEAST CORNER OF SOUTHFIELD AND LINCOLN, ELEV.: 766.370  
SITE BENCHMARK: TOP OF HYDRANT, ELEV.: 745.42 (NAVD83)

REVISIONS

02.01.17 Site Plan Approval

**Fenn & Associates, Inc.**  
Land Surveying and Civil Engineering  
14933 Commercial Drive, Shelby Township, MI 48315  
Phone: 586-254-9577 Fax: 586-254-9920 www.fennsurveying.com

SCALE: 1" = 10' FIELD: B.H., G.E. DRAWN BY: R.PERRI  
DATE: 6/27/16 CHECKED: J.S.R., P.E.  
TOP-TO-TO PLAN OVER UNIT 6 OF "RIVERSIDE PLACE CONDOMINIUM"  
PART OF THE W. 1/2 OF THE NW 1/4 OF SECTION 36, T2N, R10E,  
CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN  
CLIENT: MOERI DEVELOPMENT DRAWING NUMBER: 16-00237



3 WORKING DAYS  
(EXCLUDING SAT,  
SUN, AND HOLIDAYS)  
**BEFORE YOU DIG  
CALL MISS DIG**  
1-800-482-7171  
(TOLL FREE)

ADDRESS: 602 RIVERSIDE DR.  
PARCEL I.D. #19-36-103-126

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	32.98'	110.00'	17°10'56"	S 33°19'14" W	32.86'



Project: \_\_\_\_\_  
New Construction  
602 Riverside Drive  
Birmingham, MI

Issued:	
01.18.17	Owner's Approval
01.27.17	Owner's Approval
02.01.17	Site Plan Approval
03.01.17	Planning Review
03.02.17	Owner's Review

**Note:**

---

Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in field.

NORTH

A circular compass rose with four main directions labeled: NORTH at the top, SOUTH at the bottom, EAST on the right, and WEST on the left. The lines are thick and black.

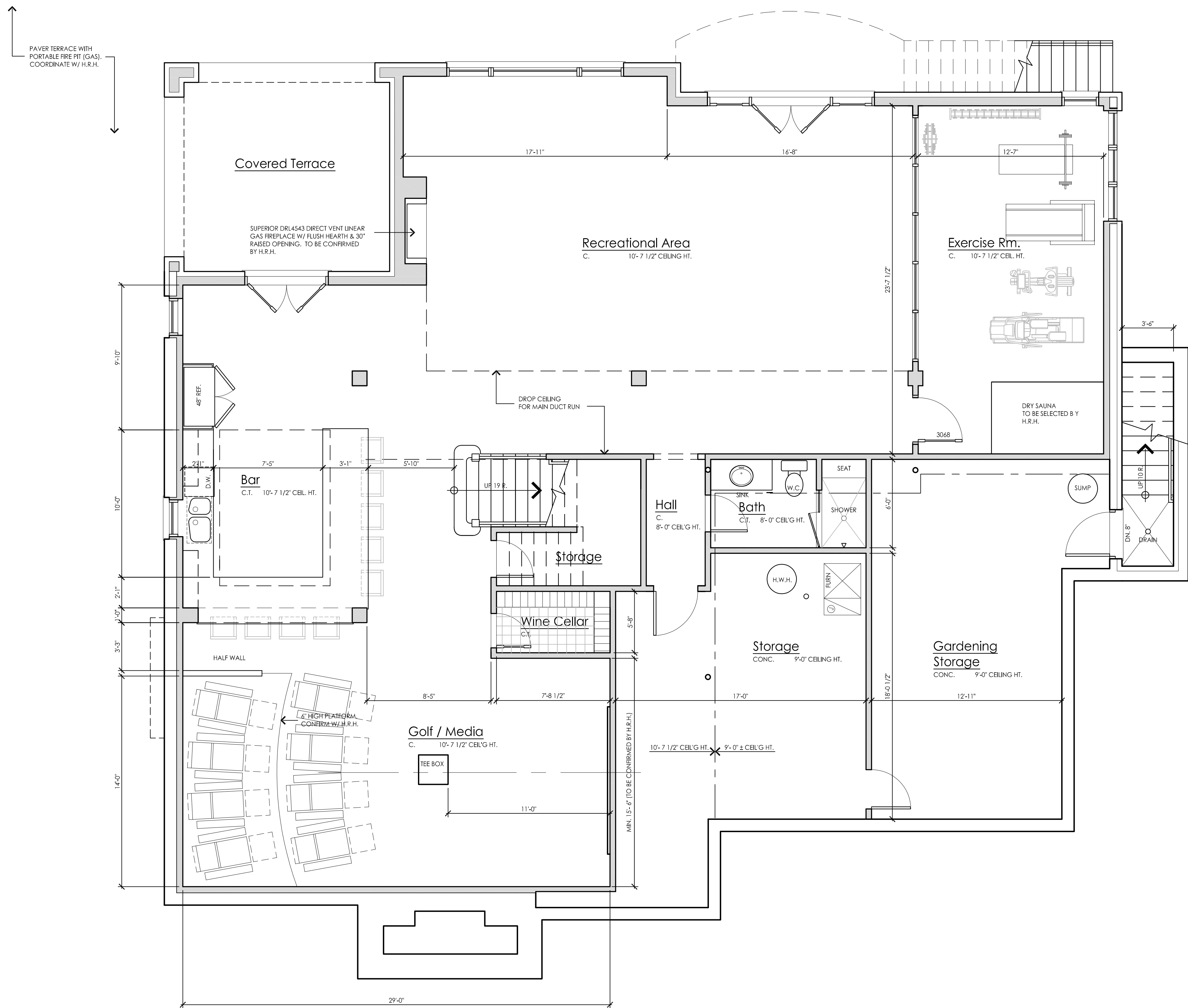
Sheet Title: \_\_\_\_\_

Lower Level  
Floor Plan

Scale: \_\_\_\_\_  
As Noted

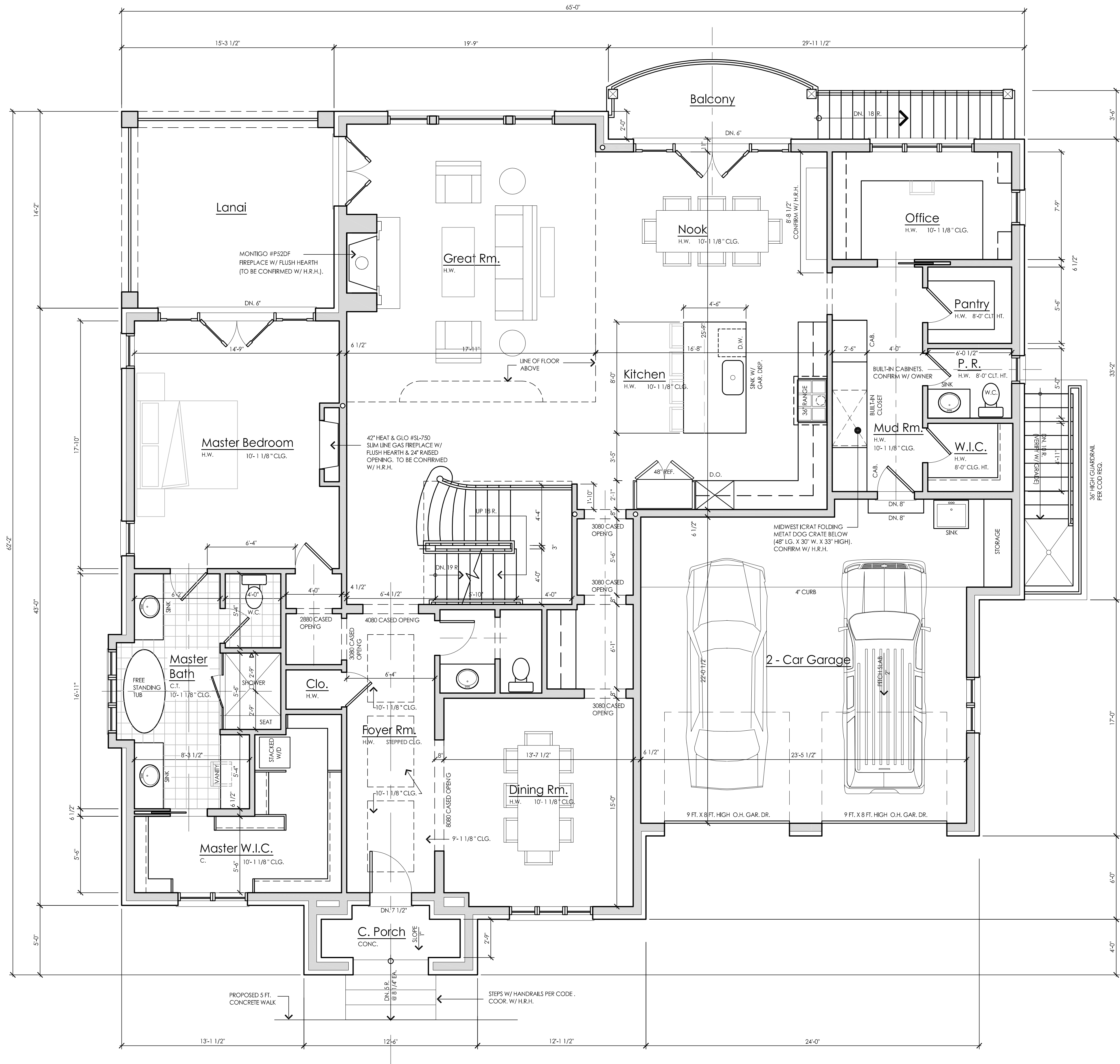
Project Number:  
17-005

Sheet Number: \_\_\_\_\_



# Lower Level Floor Plan

Scale: 1/4" = 1'-0" 3254 SQ. FT.



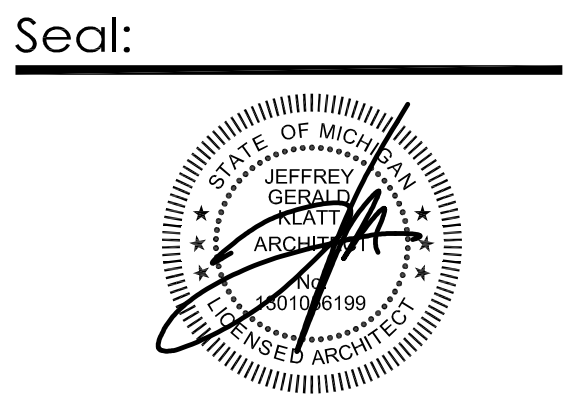
First Floor Plan  
Scale: 1/4" = 1'-0" 2670 SQ. FT.

Square Footage:
First Floor ----- 2670 Sq. Ft.
Second Floor ----- 1975 Sq. Ft.
4645 Sq. Ft. Total

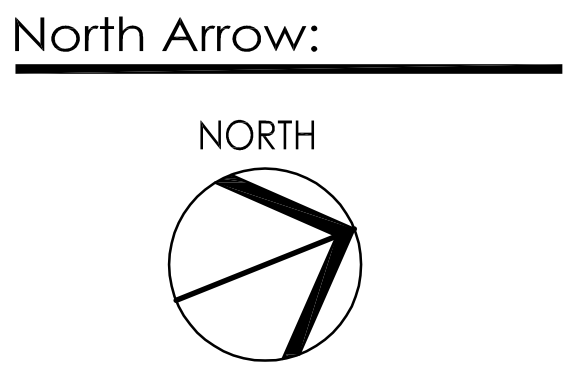
Client:  
Hunter Roberts Homes  
Suite 115  
36800 Woodward Ave.  
Bloomfield Hills, MI 48301

Project:  
New Construction  
602 Riverside Drive  
Birmingham, MI

Issued:
01.18.17 Owner's Approval
01.27.17 Owner's Approval
02.01.17 Site Plan Approval
03.01.17 Planning Review
03.02.17 Owner's Review



Note:  
Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in field.



Sheet Title:  
First Floor Plans

Scale:  
As Noted

Project Number:  
17-005

Sheet Number:

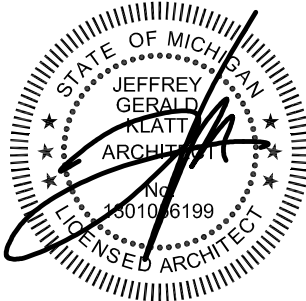


Client:  
Hunter Roberts Homes  
Suite 115  
36800 Woodward Ave.  
Bloomfield Hills, MI 48301

Project:  
New Construction  
602 Riverside Drive  
Birmingham, MI

Issued:  
01.18.17 Owner's Approval  
01.27.17 Owner's Approval  
02.01.17 Site Plan Approval  
03.01.17 Planning Review  
03.02.17 Owner's Review

Seal:



Note:  
Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in field.

North Arrow:



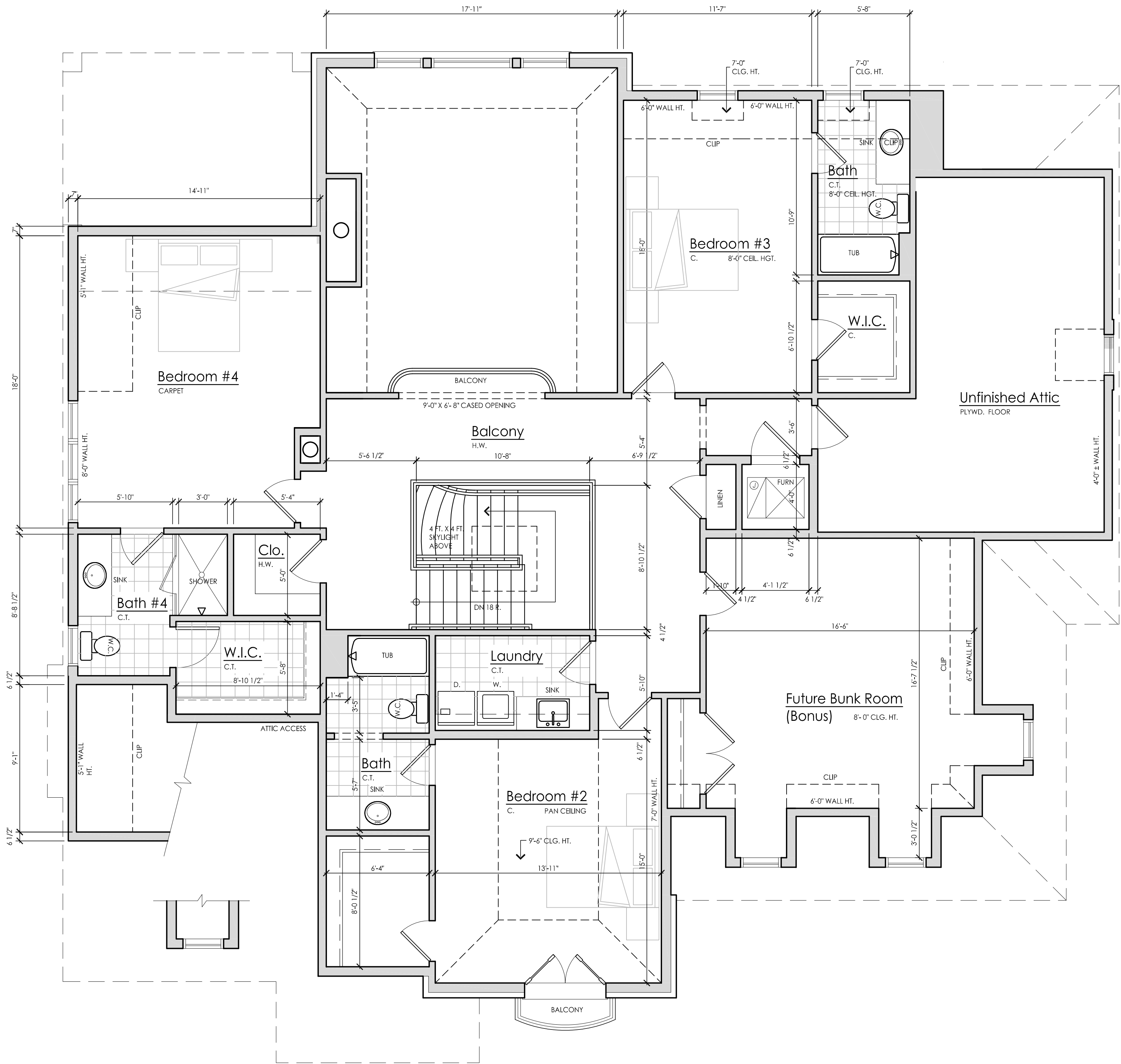
Sheet Title:  
Second Floor Plan

Scale:  
As Noted

Project Number:  
17-005

Sheet Number:

A.103



Second Floor Plan

Scale: 1/4" = 1'-0"

1975 SQ. FT.  
323 SQ. FT. (UNFINISHED ATTIC)





Left Side Elevation

Scale: 1/4" = 1'-0"



Front Elevation

Scale: 1/4" = 1'-0"

Exterior Material Schedule <span>X</span>				
SYMBOL	DESCRIPTION	LOCATION	MANUFACTURER	FINISH / COLOR
M-1	CEDAR SHINGLE SIDING	AS NOTED ON ELEVATIONS	TO BE DETERMINED	TO BE DETERMINED
M-2	STONE VENEER	AS NOTED ON ELEVATIONS	TO BE DETERMINED	TO BE DETERMINED
M-3	CEDAR SHAKE	AS NOTED ON ELEVATIONS	'CEDAR VALLEY' - SELECTED BY H.R.H.	TO BE DETERMINED
M-4	SINGLE PLY (60 MIL.) EPDM	AS NOTED ON ELEVATIONS	TO BE DETERMINED	TO BE DETERMINED
M-5	STANDING SEAM METAL ROOF	AS NOTED ON ELEVATIONS	TO BE DETERMINED	TO BE DETERMINED BY H.R.H.
M-6	FLAT SEAM METAL ROOF	AS NOTED ON ELEVATIONS	TO BE DETERMINED	COPPER - TO BE DETERMINED BY H.R.H.
	AZEK TRIM	LOCATED NEAR GRADE OR AS NOTED ON ELEVATIONS	AZEK	
	1X, SMOOTH PINE TRIM	AS NOTED ON ELEVATIONS		PREPRIMED FRONT / BACK - PAINT COLOR TO BE DETERMINED

**Average Grade:**  
(4 CORNERS OF BUILDING ENVELOPE)

NORTH.....731.5  
SOUTH.....741.5  
EAST.....743.0  
WEST.....730.8  
2946.5 / 4 = 736.7 AVERAGE GRADE

**Average Building Height:**

FRONT ELEVATION..... 29' - 5"  
RIGHT SIDE ELEVATION..... 25' - 2"  
LEFT SIDE ELEVATION..... 24' - 8"  
REAR ELEVATION..... 29'- 5"  
108' - 8" / 4 = 27'- 2" AVERAGE BUILDING HEIGHT

**General Elevation Notes:**

- ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABOVE GRADE. THE LOWEST PART OF WINDOW CLEAR OPENING SHALL BE 24" MIN. ABOVE FINISHED FLOOR. PROVIDE WINDOW OPENING LIMITING DEVICES" IF BELOW 24" PER SECTION 612 OF M.R.C. 2009
- DOWNSPOUT LOCATIONS TO BE CONFIRM W/ H.R.H. PRIOR TO INSTALLATION
- LUMBER SUPPLIER TO SUBMIT SHOP DRAWINGS OR SAMPLES OF ALL DECORATIVE BRACKETS, CROWN MOLDINGS, SILLS, PANEL MOLDINGS, ETC. FOR H.R.H. APPROVAL PRIOR TO ORDERING
- ALL TRIM IS TO BE PACKED OUT WITH 1/2" MATERIAL AS REQUIRED IN ORDER FOR SIDING TO ABUT TRIM
- ALL CUT ENDS OR DRILLED LUMBER IS TO BE REPAIRED W/ PRIMER
- ALL TRIM BOARDS THAT ARE GREATER THAN 12" NOMINAL ARE TO BE CUT FROM AZEK OR FROM JAMES HARDIE BOARD AND TO BE 3/4" THICK MATERIAL

**Window & Door Specification:**

- ALL WINDOW ARE ALUMINUM CLAD WOOD WINDOWS W/ LOW-E INSULATED GLASS, AND SIMULATED DIVIDED LITES. CONFIRM WITH HUNTER ROBERTS HOMES ON WINDOW MANUFACTURER.
- ALL DOORS ARE FRENCH ALUMINUM CLAD WOOD DOORS W/ LOW-E INSULATED TEMPERED GLASS. W/ SIMULATED DIVIDED LITES. CONFIRM WITH HUNTER ROBERTS HOMES ON MANUFACTURER.

**Client:**

Hunter Roberts Homes  
Suite 115  
36800 Woodward Ave.  
Bloomfield Hills, MI 48301

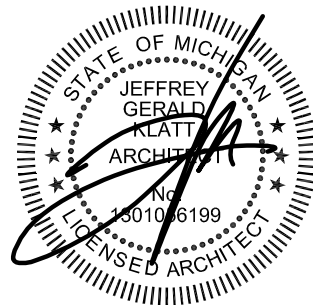
**Project:**

New Construction  
602 Riverside Drive  
Birmingham, MI

**Issued:**

01.18.17 Owner's Approval  
01.27.17 Owner's Approval  
02.01.17 Site Plan Approval  
03.01.17 Planning Review  
03.02.17 Owner's Review

**Seal:**



**Note:**

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

**North Arrow:**

**Sheet Title:**

Exterior  
Elevations

**Scale:**

As Noted

**Project Number:**

17-005

**Sheet Number:**

A.200



Exterior Material Schedule <span>X</span>				
SYMBOL	DESCRIPTION	LOCATION	MANUFACTURER	FINISH / COLOR
M-1	CEDAR SHINGLE SIDING	AS NOTED ON ELEVATIONS	TO BE DETERMINED	TO BE DETERMINED
M-2	STONE VENEER	AS NOTED ON ELEVATIONS	TO BE DETERMINED	TO BE DETERMINED
M-3	CEDAR SHAKE	AS NOTED ON ELEVATIONS	'CEDAR VALLEY' - SELECTED BY H.R.H.	TO BE DETERMINED
M-4	SINGLE PLY (60 MIL.) EPDM	AS NOTED ON ELEVATIONS	TO BE DETERMINED	TO BE DETERMINED
M-5	STANDING SEAM METAL ROOF	AS NOTED ON ELEVATIONS	TO BE DETERMINED	TO BE DETERMINED BY H.R.H.
M-6	FLAT SEAM METAL ROOF	AS NOTED ON ELEVATIONS	TO BE DETERMINED	COPPER - TO BE DETERMINED BY H.R.H.
	AZEK TRIM	LOCATED NEAR GRADE OR AS NOTED ON ELEVATIONS	AZEK	
	1X SMOOTH PINE TRIM	AS NOTED ON ELEVATIONS		PREPRIMED FRONT / BACK - PAINT COLOR TO BE DETERMINED

Average Grade:  
(4 CORNERS OF BUILDING ENVELOPE)

NORTH.....731.5  
SOUTH.....741.5  
EAST.....743.0  
WEST.....730.8  
2946.5 / 4 = 736.7 AVERAGE GRADE

Average Building Height:

FRONT ELEVATION..... 29'-5"  
RIGHT SIDE ELEVATION..... 25'-2"  
LEFT SIDE ELEVATION..... 24'-8"  
REAR ELEVATION..... 29'-5"  
108'-8" / 4 = 27'-2" AVERAGE BUILDING HEIGHT



Right Side Elevation

Scale: 1/4" = 1'-0"



Rear Elevation

Scale: 1/4" = 1'-0"

HUNTERROBERTS  
DESIGN + BUILD

krieger klatt  
ARCHITECTS  
architecture interiors consulting  
1412 East Eleven Mile Road, Royal Oak, MI 48067  
Phone: 248.414.9270 Fax: 248.414.9275 Web: kriegerklatt.com

Client:

Hunter Roberts Homes  
Suite 115  
36800 Woodward Ave.  
Bloomfield Hills, MI 48301

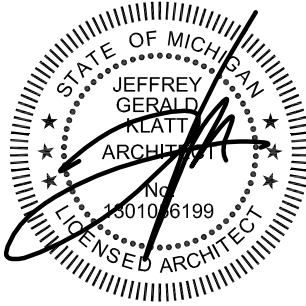
Project:

New Construction  
602 Riverside Drive  
Birmingham, MI

Issued:

01.18.17 Owner's Approval  
01.27.17 Owner's Approval  
02.01.17 Site Plan Approval  
03.01.17 Planning Review  
03.02.17 Owner's Review

Seal:



Note:

Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in field.

North Arrow:

Sheet Title:

Exterior  
Elevations

Scale:

As Noted

Project Number:

17-005

Sheet Number:

A.201









Recchia Residence  
Lot 6 Riverside Place  
Rochester Hills, MI



Landscape Plan

07/30/16	PERMIT SUBMITTAL
06/04/16	
DATE:	ISSUED FOR:
	COPYRIGHT © 2016
DRAWN BY: <u>tl</u>	
APPROVED BY: <u>bs</u>	
JOB NO. 16180	